



Rizzetta & Company

Paseo Community Development District

**Board of Supervisors' Meeting
July 22, 2020**

**District Office:
9530 Marketplace Road, Suite 206
Fort Myers, Florida 33912
(239) 936-0913**

www.paseocdd.org

PASEO COMMUNITY DEVELOPMENT DISTRICT

Paseo Village Centre – Theatre, 11611 Paseo Grande Boulevard, Fort Myers, Florida 33912

Board of Supervisors	Steven Brown	Chairman
	Sharon Schulman	Vice Chairman
	Jim Heether	Assistant Secretary
	Lyle Hicks	Assistant Secretary
	James Morris	Board Supervisor
District Manager	Belinda Blandon	Rizzetta & Company, Inc.
District Counsel	Jan Albanese Carpenter	Latham, Luna, Eden & Beaudine, LLP
	Kristen Trucco	Latham, Luna, Eden & Beaudine, LLP
District Engineer	Carl Barraco	Barraco and Associates, Inc.

All cellular phones must be placed on mute while in the meeting room.

The Audience Comment portion of the agenda is where individuals may make comments on matters that concern the District. Individuals are limited to a total of three (3) minutes to make comments during this time.

Pursuant to provisions of the Americans with Disabilities Act, any person requiring special accommodations to participate in this meeting/hearing/workshop is asked to advise the District Office at least forty-eight (48) hours before the meeting/hearing/workshop by contacting the District Manager at (239) 936-0913. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) 1-800-955-8770 (Voice), who can aid you in contacting the District Office.

A person who decides to appeal any decision made at the meeting/hearing/workshop with respect to any matter considered at the meeting/hearing/workshop is advised that person will need a record of the proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

PASEO COMMUNITY DEVELOPMENT DISTRICT
DISTRICT OFFICE • 9530 MARKETPLACE ROAD • SUITE 206 • FORT MYERS • FL • 33912

www.paseocdd.org

July 15, 2020

Board of Supervisors
**Paseo Community
Development District**

AGENDA

Dear Board Members:

The virtual meeting of the Board of Supervisors of Paseo Community Development District will be held on **Wednesday, July 22, 2020 at 11:00 a.m.** Please be advised that the Florida Governor's Office has declared a state of emergency due to the Coronavirus (COVID-19). As a result, the meeting is being conducted by means of communications media technology pursuant to Executive Orders 20-52, 20-69, 20-112, 20-114 and 20-150 issued by Governor DeSantis on March 9, 2020, March 20, 2020, April 29, 2020, May 8, 2020 and June 23, 2020, respectively, and any extensions thereof, and pursuant to Section 120.54(5)(b)2., *Florida Statutes*.

As reported by the Center for Disease Control and World Health Organization, COVID-19 can spread from person-to-person through small droplets from the nose or mouth, including when an individual coughs or sneezes. These droplets may land on objects and surfaces. Other people may contract COVID-19 by touching these objects or surfaces, then touching their eyes, nose or mouth. Therefore, merely cleaning facilities, while extremely important and vital in this crisis, may not be enough to stop the spread of this virus.

While it is necessary to hold a meeting of the District's Board of Supervisors despite the current public health emergency, the District fully encourages public participation in a safe and efficient manner. Toward that end, anyone wishing to listen and participate in the meeting can do so telephonically by attending a scheduled Zoom meeting. The information for accessing the meeting is as follows: Dial +1 929 205 6099 or +1 312 626 6799, Meeting ID: 984 4231 1172, Password: 375901. For assistance using Zoom please contact the District Manager in advance of the meeting at BBlondon@rizzetta.com or by calling 239-936-0913. Additionally, written public comments and questions can be e-mailed to the District Manager in advance of the meeting at BBlondon@rizzetta.com, or mailed to the District Manager at Rizzetta & Company, c/o Paseo CDD, 9530 Marketplace Road, Suite 206, Fort Myers, FL 33912. Comments and questions received by 2:00 p.m. the day prior to the meeting will be read into the record at the meeting and become part of the permanent record of the meeting.

The following is the agenda for this meeting:

- 1. CALL TO ORDER/ROLL CALL**
- 2. PUBLIC COMMENT**
- 3. DISTRICT ENGINEER STAFF REPORT**
 - A. Review and Consideration of Barraco & Associates Asset Report..... Tab 1
- 4. BUSINESS ITEMS**
 - A. Review and Discussion of July 13, 2020 Field Inspection Report..... Tab 2
 - B. Consideration of Pinnacle Landscape Estimates for Sod Replacement Tab 3

- C. Discussion Regarding Association Towing Sign on CDD Property
- D. Discussion Regarding Homeowner/Tenant Rental Agreements
- 5. **BUSINESS ADMINISTRATION**
 - A. Consideration of the Minutes of the Board of Supervisors' Meeting held on June 24, 2020 Tab 4
 - B. Consideration of the Operations and Maintenance Expenditures for the Month of June 2020..... Tab 5
- 6. **STAFF REPORTS**
 - A. District Counsel
 - B. District Management
- 7. **SUPERVISOR REQUESTS/COMMENTS**
- 8. **ADJOURNMENT**

We look forward to seeing you at the meeting. In the meantime, if you have any questions, please do not hesitate to call us at (239) 936-0913.

Sincerely,

Belinda Blandon

Belinda Blandon
District Manager

Cc: Jan Albanese Carpenter, Latham Luna, Eden & Beaudine, LLP

Tab 1

ANNUAL REVIEW OF DISTRICT ASSETS

Prepared for the

PASEO COMMUNITY DEVELOPMENT DISTRICT

CITY OF FORT MYERS, LEE COUNTY, FLORIDA

July 9, 2020

Prepared by:

BARRACO AND ASSOCIATES

2271 McGregor Boulevard
Fort Myers, Florida 33901



PURPOSE AND SCOPE

Barraco and Associates, serving as the District Engineer for the Paseo Community Development District (District), was requested to perform an overall site observation of specific District assets. This observation included review of the perimeter berm, concrete curb, roadway asphalt, brick paver and concrete sidewalks, roadway striping and signage, visible irrigation appurtenances, visible City of Fort Myers' water and sewer appurtenances for deficiencies and/ or required maintenance.

GENERAL RECOMMENDATIONS

The original site permit for Paseo was approved in 2005. Several deficiencies are related to common maintenance and age such as weathered signage, faded striping, missing fire hydrant RPMs, landscape maintenance around fire hydrants, and fatigued curb.

Generally, Paseo (south of the bridge) was constructed from west to east. Several crosswalks in the western portion of the development are brick paver with concrete ribbon curb serving as striping. The remaining crosswalks are standard crosswalk striping including the mid-block crossings. This is consistent throughout the District and was intended as such. Current design standards require special emphasis crosswalk markings and signage at mid-block crossings. If updating to current standards is considered it is recommended the entire District be completed for consistency.

The following photos depict maintenance items and deficiencies noted by District Engineering field staff during a site review May 2020 thru June 2020. The locations are depicted on the "District Asset Review Exhibit July 9, 2020" (Sheets 1 and 2) attached to this report with specific recommendations. The photo descriptors have been highlighted according to the District Engineer's opinion of priority level. Those highlighted in **red** require immediate consideration as they consist of potential hazards, permit compliance issues, or the benefit exceeds the projected cost. The items highlighted in **yellow** consist of items worth consideration but do not appear to require immediate attention. The items highlighted in **blue** appear to be superficial in nature with any action at the discretion of the Board of Supervisors.

MAINTENANCE AND DEFICIENCIES NOTED

Picture 1 (P1)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace section of curb.

Picture 2 (P2)



Description:

Moderate fractures in type "F" curb with missing concrete.

Recommended Action:

Replace section of curb.

Picture 3 (P3)



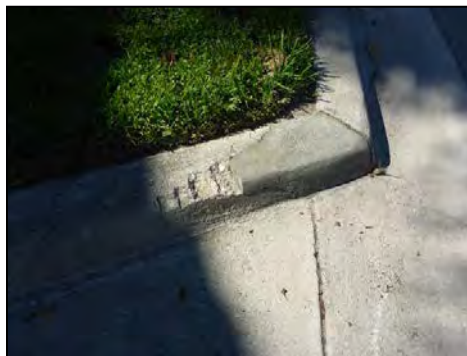
Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace section of curb.

Picture 4 (P4)



Description:

Fractured type "F" curb with missing pieces.

Recommended Action:

Repair/replace broken curb.

Picture 5 (P5)



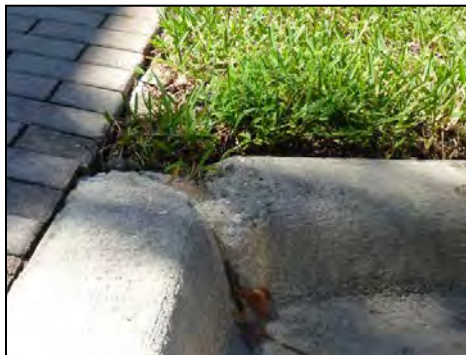
Description:

Type "F" curb with missing piece.

Recommended Action:

Repair missing curb.

Picture 6 (P6)



Description:

Type "F" curb is fractured with missing concrete

Recommended Action:

Replace portion of curb.

Picture 7 (P7)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 8 (P8)



Description:

Moderate fracture in valley gutter curb adjacent to detectable warning device.

Recommended Action:

Repair valley gutter curb.

Picture 9 (P9)



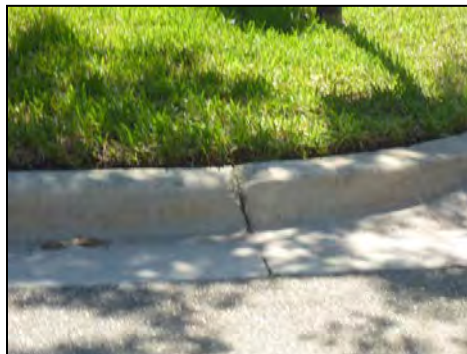
Description:

Street sign is faded and peeling.

Recommended Action:

Replace street sign.

Picture 10 (P10)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 11 (P11)



Description:

Moderate fractures in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 12 (P12)



Description:

Moderate fractures and missing concrete in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 13 (P13)



Description:

Fire hydrant is obstructed by landscaping.

Recommended Action:

Trim or relocate landscape material.

Picture 14 (P14)



Description:

Type "F" curb broken with missing concrete pieces.

Recommended Action:

Repair/replace portion of curb.

Picture 15 (P15)



Description:

Moderate fractures in type "F" curb with missing concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 16 (P16)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 17 (P17)



Description:

Excess concrete remnants at curb transition.

Recommended Action:

Remove excess concrete remnants.

Picture 18 (P18)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 19 (P19)



Description:

Moderate fracture in ribbon curb at crosswalk.

Recommended Action:

Replace portion of curb.

Picture 20 (P20)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 21 (P21)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 22 (P22)



Description:

Moderate fractures in valley gutter curb adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 23 (P23)



Description:

Multiple fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 24 (P24)



Description:

Multiple fractures in type "F" curb.

Recommended Action:

Replace/repair portion of curb.

Picture 25 (P25)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 26 (P26)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 27 (P27)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portions of curb.

Picture 28 (P28)



Description:

Moderate fractures in the top of type "F" curb with missing concrete.

Recommended Action:

Replace portions of curb.

Picture 29 (P29)



Description:

City of Fort Myers watermain Leak.

Recommended Action:

City of Fort Myers to fix water leak and repair pavement.

Picture 30 (P30)



Description:

Berm is eroded and and potentially breached.

Recommended Action:

Restore berm and sod.

Picture 31 (P31)



Description:

Moderate fracture in type "F" curb with missing concrete adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 32 (P32)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 33 (P33)



Description:

Moderate fracture in type "F" curb with missing concrete adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 34 (P34)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 35 (P35)



Description:

Moderate fractures in the top of type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 36 (P36)



Description:

Moderate fracture in type "F" curb with missing concrete and tire markings.

Recommended Action:

Replace portion of curb.

Picture 37 (P37)



Description:

Moderate fractures in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 38 (P38)



Description:

Type "F" curb with missing concrete pieces.

Recommended Action:

Repair/replace portion of curb.

Picture 39 (P39)



Description:

Traffic sign is faded and peeling.

Recommended Action:

Replace traffic sign.

Picture 40 (P40)



Description:

Moderate fracture in the top of type "F" curb with missing concrete.

Recommended Action:

Repair/replace portion of curb.

Picture 41 (P41)



Description:

Moderate fracture in the top of type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 42 (P42)



Description:

Moderate fracture in the top of type "F" curb with substantial missing concrete.

Recommended Action:

Replace portion of curb.

Picture 43 (P43)



Description:

Traffic sign is faded and peeling.

Recommended Action:

Replace traffic sign.

Picture 44 (P44)



Description:

Fire hydrant is obstructed by landscaping.

Recommended Action:

Trim or relocate landscape material.

Picture 45 (P45)



Description:

Moderate fractures in valley gutter curb adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 46 (P46)



Description:

Traffic sign is faded and peeling.

Recommended Action:

Replace traffic sign.

Picture 47 (P47)

Intentionally Blank

Description:

Not a CDD asset.

Recommended Action:

Not a CDD asset.

Picture 48 (p48)

Intentionally Blank

Description:

Not a CDD asset.

Recommended Action:

Not a CDD asset.

Picture 49 (p49)

Intentionally Blank

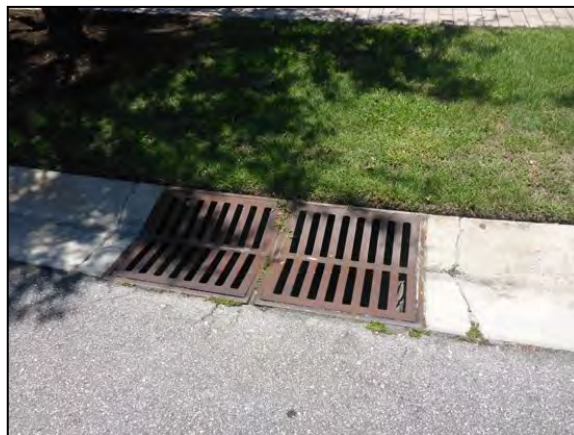
Description:

Not a CDD asset.

Recommended Action:

Not a CDD asset.

Picture 50 (P50)



Description:

Moderate fractures in valley gutter curb adjacent to inlet.

Recommended Action:

Replace portions of curb.

Picture 51 (P51)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 52 (P52)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 53 (P53)



Description:

Moderate fracture in valley gutter curb adjacent to detectable warning device.

Recommended Action:

Replace portion of curb.

Picture 54 (P54)



Description:

Settling of ADA detectable warning device creating a potential tripping hazard.

Recommended Action:

Repair/re-install detectable warning device flush with curb.

Picture 55 (P55)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 56 (P56)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 57 (P57)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 58 (P58)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 59 (P59)



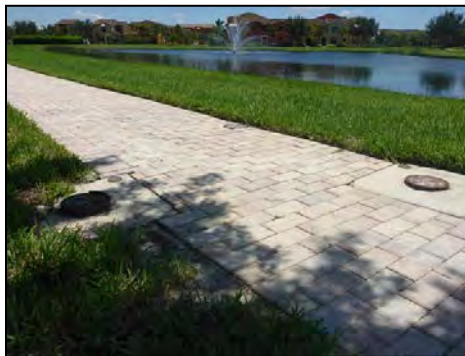
Description:

Water valve ring and cover protruding from concrete base.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 60 (P60)



Description:

Multiple reuse valve rings and covers protruding from concrete base.

Recommended Action:

Reset reuse valve rings and covers.

Picture 61 (P61)



Description:

Moderate fractures in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 62 (P62)



Description:

Moderate fractures in type "F" curb with loose concrete pieces.

Recommended Action:

Replace/repair portion of curb.

Picture 63 (P63)



Description:

Type "F" curb with multiple fractures and substantial missing concrete.

Recommended Action:

Replace portion of curb.

Picture 64 (P64)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 65 (P65)



Description:
Moderate fracture in type "F" curb.

Recommended Action:
Replace portion of curb.

Picture 66 (P66)



Description:
Substantial fracture in valley gutter curb adjacent to inlet with loose concrete chunk.

Recommended Action:
Replace portion of curb.

Picture 67 (P67)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 68 (P68)



Description:

Moderate fractures in type "F" curb adjacent to inlet with missing concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 69 (P69)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 70 (P70)



Description:

Moderate fractures in valley gutter curb adjacent to inlet with missing concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 71 (P71)



Description:

Moderate fractures in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 72 (P72)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 73 (P73)



Description:

Substantial fracture in type "F" curb with loose concrete chunk.

Recommended Action:

Replace portion of curb.

Picture 74 (P74)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 75 (P75)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 76 (P76)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 77 (P77)



Description:

Moderate fractures in type "F" curb adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 78 (P78)



Description:

Moderate fractures in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 79 (P79)



Description:

Small dip in paver bricks and missing paver bricks.

Recommended Action:

Replace and reset paver bricks.

Picture 80 (P80)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 81 (P81)



Description:

Pavement settling at ribbon curb.

Recommended Action:

Patch or mill and resurface pavement.

Picture 82 (P82)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 83 (P83)



Description:

Dip in crosswalk paver bricks adjacent to ribbon curb.

Recommended Action:

Reset paver bricks.

Picture 84 (P84)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 85 (P85)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 86 (P86)



Description:

Type "F" curb broken with missing concrete pieces.

Recommended Action:

Repair/replace portion of curb.

Picture 87 (P87)



Description:

Moderate fractures in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 88 (P88)



Description:

Type "F" curb broken with missing concrete piece.

Recommended Action:

Repair/replace portion of curb.

Picture 89 (P89)



Description:

Moderate fractures in curb transition from type "F" curb to valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 90 (P90)



Description:

Moderate fracture in type "F" curb with missing paver brick triangles.

Recommended Action:

Replace portion of curb and paver bricks.

Picture 91 (P91)



Description:

Moderate fractures in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 92 (P92)



Description:

Moderate fracture in type "F" curb.

Recommended Action:

Replace portion of curb.

Picture 93 (P93)



Description:

Moderate fractures in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 94 (P94)



Description:

Moderate fracture in type "F" curb and paver bricks.

Recommended Action:

Replace portion of curb and paver bricks.

Picture 95 (P95)



Description:

Moderate fractures in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 96 (P96)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 97 (P97)



Description:

Moderate fractures in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 98 (P98)



Description:

Moderate fractures in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 99 (P99)



Description:

Moderate fractures in type "F" curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 100 (P100)



Description:

Crosswalk signage missing and striping faded.

Recommended Action:

Restripe crosswalk and consider installing midblock crossing signage throughout.

Picture 101 (P101)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 102 (P102)



Description:

Multiple moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 103 (P103)



Description:

Multiple moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 104 (P104)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 105 (P105)



Description:

Paver bricks settling around concrete valve pad creating tripping hazard.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 106 (P106)



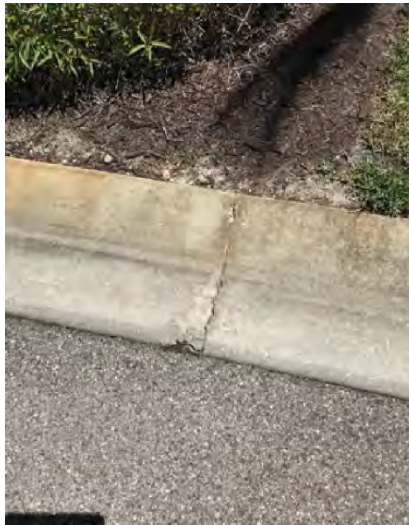
Description:

Multiple moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 107 (P107)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 108 (P108)



Description:

Multiple moderate fractures in valley gutter curb adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 109 (P109)



Description:

Moderate fracture in type "F" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 110 (P110)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 111 (P111)



Description:

Moderate fracture in valley gutter with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 112 (P112)



Description:

Moderate fractures in valley gutter curb with missing concrete adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 113 (P113)



Description:

Multiple moderate fractures in valley gutter curb with loose and missing concrete pieces adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 114 (P114)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 115 (P115)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 116 (P116)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 117 (P117)



Description:

Moderate fracture in valley gutter curb with loose missing concrete.

Recommended Action:

Replace portion of curb.

Picture 118 (P118)



Description:

Moderate fracture in curb transition with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 119 (P119)



Description:
Crosswalk signage missing.

Recommended Action:
Consider installing midblock crossing signage throughout.

Picture 120 (P120)



Description:
Moderate fracture in type "F" curb with missing concrete.

Recommended Action:
Replace portion of curb.

Picture 121 (P121)



Description:

Sanitary service valve missing lid.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 122 (P122)



Description:

Moderate fractures in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 123 (P123)



Description:

Moderate fracture in valley gutter curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 124 (P124)



Description:

Moderate fractures in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 125 (P125)



Description:

Paver bricks settling around concrete valve pad creating tripping hazard.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 126 (P126)



Description:

Crosswalk signage missing.

Recommended Action:

Consider installing midblock crossing signage throughout.

Picture 127 (P127)



Description:
Sanitary service valve missing lid.

Recommended Action:
Notify City of Fort Myers Utilities department.

Picture 128 (P128)



Description:
Crosswalk signage missing.

Recommended Action:
Consider installing midblock crossing signage throughout.

Picture 129 (P129)



Description:
Moderate fracture in valley gutter curb.

Recommended Action:
Replace portion of curb.

Picture 130 (P130)



Description:
Moderate fracture valley gutter curb with missing concrete.

Recommended Action:
Replace portion of curb.

Picture 131 (P131)

NO PICTURE

Description:

Missing fire hydrant road pavement marker.

Recommended Action:

Install road pavement marker.

Picture 132 (P132)



Description:

Stop bar and crosswalk striping faded.

Recommended Action:

Repaint stop bar and crosswalk striping.

Picture 133 (P133)



Description:

Moderate fracture in curb transition.

Recommended Action:

Replace portion of curb.

Picture 134 (P134)



Description:

Moderate fractures in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 135 (P135)



Description:

Fire hydrant valve buried.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 136 (P136)



Description:

Moderate fractures in valley gutter curb adjacent to inlet with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 137 (P137)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 138 (P138)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 139 (P139)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 140 (P140)



Description:

Paver bricks and detectable warning device settling unevenly.

Recommended Action:

Reset paver bricks and detectable warning device.

Picture 141 (P141)



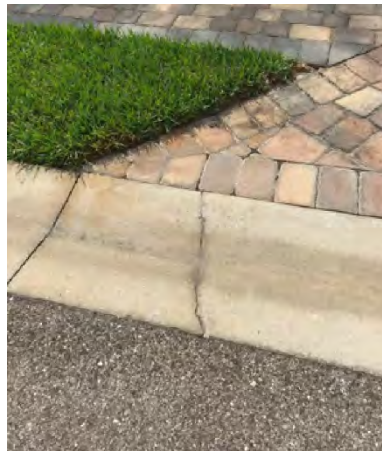
Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 142 (P142)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 143 (P143)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 144 (P144)



Description:

Stop bar and crosswalk striping faded.

Recommended Action:

Repaint stop bar and crosswalk striping.

Picture 145 (P145)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 146 (P146)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 147 (P147)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 148 (P148)



Description:

Paver bricks settling at water valve creating trip hazard.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 149 (P149)



Description:

Moderate fracture in valley gutter curb with missing concrete

Recommended Action:

Replace portion of curb.

Picture 150 (P150)



Description:

Multiple moderate fractures in valley gutter curb with missing and loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 151 (P151)



Description:

Moderate fracture in type "A" curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 152 (P152)

Intentionally Blank

Description:

Not a CDD asset.

Recommended Action:

Not a CDD asset.

Picture 153 (P153)



Description:

Multiple moderate fractures in type "A" curb.

Recommended Action:

Replace portion of curb.

Picture 154 (P154)



Description:

Moderate fractures in valley gutter curb adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 155 (P155)



Description:

Stop bar and crosswalk striping faded with missing crosswalk signage.

Recommended Action:

Repaint stop bar, crosswalk striping and consider installing midblock crossing signage throughout.

Picture 156 (P156)



Description:

Moderate fracture in valley gutter curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 157 (P157)



Description:

Moderate fractures in type "A" curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 158 (P158)



Description:

Multiple moderate fractures in type "A" curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 159 (P159)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 160 (P160)



Description:

Missing streetlight head.

Recommended Action:

Install missing streetlight head.

Picture 161 (P161)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 162 (P162)



Description:

Moderate fracture in valley gutter curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 163 (P163)



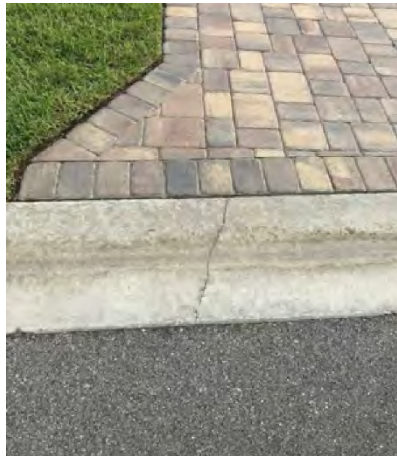
Description:

Fire hydrant is obstructed by landscaping.

Recommended Action:

Trim or relocate landscape material.

Picture 164 (P164)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 165 (P165)



Description:

Moderate fracture in valley gutter curb with missing and loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 166 (P166)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 167 (P167)



Description:

Missing irrigation meter lid.

Recommended Action:

Replace lid.

Picture 168 (P168)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 169 (P169)



Description:

Moderate fracture in valley gutter curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 170 (P170)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 171 (P171)



Description:

Crosswalk signage missing and multiple crosswalk stripes.

Recommended Action:

Remove extra striping and consider installing midblock crossing signage throughout.

Picture 172 (P172)

Intentionally Blank

Description:

Not a CDD asset.

Recommended Action:

Not a CDD asset.

Picture 173 (P173)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 174 (P174)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 175 (P175)



Description:

Moderate fractures in valley gutter curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 176 (P176)



Description:

Moderate fracture in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 177 (P177)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 178 (P178)



Description:

Water valve ring and cover protruding from paver bricks creating tripping hazard.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 179 (P179)



Description:

Stop sign moldy and faded.

Recommended Action:

Replace stop sign.

Picture 180 (P180)



Description:

Multiple moderate fractures in valley gutter curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 181 (P181)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 182 (P182)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 183 (P183)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 184 (P184)



Description:

Moderate fractures in valley gutter curb adjacent to inlet with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 185 (P185)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 186 (P186)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 187 (P187)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 188 (P188)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 189 (P189)



Description:

Moderate fractures in valley gutter curb adjacent to inlet with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 190 (P190)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 191 (P191)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 192 (P192)



Description:

Moderate fractures in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 193 (P193)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 194 (P194)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 195 (P195)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 196 (P196)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 197 (P197)



Description:

Multiple moderate fractures in valley gutter curb and missing fire hydrant road pavement marker.

Recommended Action:

Replace portion of curb and install road pavement marker.

Picture 198 (P198)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 199 (P199)



Description:

Multiple moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 200 (P200)



Description:

Multiple moderate fractures in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 201 (P201)



Description:

Moderate fractures in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 202 (P202)



Description:

Sanitary service valves missing lids.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 203 (P203)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 204 (P204)



Description:

Fire hydrant missing road pavement marker.

Recommended Action:

Install road pavement marker.

Picture 205 (P205)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 206 (P206)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 207 (P207)



Description:

Moderate fracture in valley gutter curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 208 (P208)



Description:

Sanitary service valve missing lid.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 209 (P209)



Description:

Multiple moderate fractures in valley gutter curb adjacent to inlet.

Recommended Action:

Replace portion of curb.

Picture 210 (P210)



Description:

Multiple moderate fractures in valley gutter curb adjacent to inlet with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 211 (P211)



Description:

Moderate fractures in both road pavement and valley gutter curb with loose concrete pieces.

Recommended Action:

Replace portion of curb.

Picture 212 (P212)



Description:

Moderate fractures in valley gutter curb with missing concrete.

Recommended Action:

Replace portion of curb.

Picture 213 (P213)



Description:

Fire hydrant missing road pavement marker and the water valve ring and cover protruding from paver bricks creating tripping hazard.

Recommended Action:

Install road pavement marker and notify City of Fort Myers Utilities department.

Picture 214 (P214)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 215 (P215)



Description:

Multiple moderate fractures in valley gutter curb with substantial missing concrete at the back of curb.

Recommended Action:

Replace portion of curb.

Picture 216 (P216)



Description:

Moderate fractures in valley gutter curb with substantial missing concrete at the back of curb.

Recommended Action:

Replace portion of curb.

Picture 217 (P217)



Description:

Sanitary service missing lid.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 218 (P218)



Description:

Sanitary service missing lid.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 219 (P219)



Description:

Moderate fractures in valley gutter curb with loose concrete pieces, fire hydrant missing road pavement marker, and water valve missing lid.

Recommended Action:

Replace portion of curb, install road pavement marker and notify City of Fort Myers Utilities department.

Picture 220 (P220)



Description:

Moderate fractures in type "A" curb with substantial missing concrete.

Recommended Action:

Replace portion of curb.

Picture 221 (P221)



Description:

Moderate fractures in type "A" curb with substantial missing concrete.

Recommended Action:

Replace portion of curb.

Picture 222 (P222)



Description:

Moderate fractures in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 223 (P223)

NO PICTURE

Description:

Stop sign measures 6.6' to bottom of sign.

Recommended Action:

Raise sign up to 7' at bottom of sign.

Picture 224 (P224)

NO PICTURE

Description:

Missing fire hydrant road pavement marker.

Recommended Action:

Install road pavement marker.

Picture 225 (P225)



Description:
Moderate fracture in valley gutter curb.

Recommended Action:
Replace portion of curb.

Picture 226 (P226)



Description:
Moderate fractures in valley gutter curb adjacent to inlet with loose concrete pieces.

Recommended Action:
Replace portion of curb.

Picture 227 (P227)

NO PICTURE

Description:

Missing fire hydrant road pavement marker.

Recommended Action:

Install road pavement marker.

Picture 228 (P228)



Description:

Water valve ring and cover protruding from paver bricks creating tripping hazard.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 229 (P229)

NO PICTURE

Description:

Stop sign measure 6.6' to bottom of sign.

Recommended Action:

Raise sign up to meet 7.0' separation.

Picture 230 (P230)



Description:

Water valve ring and cover protruding from paver bricks creating tripping hazard.

Recommended Action:

Notify City of Fort Myers Utilities department.

Picture 231 (P231)



Description:

Moderate fracture in valley gutter curb.

Recommended Action:

Replace portion of curb.

Picture 232 (P232)



Description:

Berm is eroded and potentially breached with exposed pipe.

Recommended Action:

Restore berm and mulch. Check irrigation for leak.

Picture 233 (P233)



Description:

Berm is eroded and potentially breached.

Recommended Action:

Restore berm and sod.

Picture 234 (P234)



Description:

Berm is eroded and potentially breached.

Recommended Action:

Restore berm with geotextile and rip-rap.

Picture 235 (P235)



Description:

Berm is eroded and potentially breached.

Recommended Action:

Restore berm with geotextile and rip-rap.

Picture 236 (P236)



Description:

Berm is eroded and potentially breached.

Recommended Action:

Restore berm with geotextile and rip-rap.

Picture 237 (P237)



Description:

Berm is eroded and potentially breached.

Recommended Action:

Restore berm with geotextile and rip-rap.

Picture 238 (P238)



Description:

Berm is eroded and potentially breached.

Recommended Action:

Restore berm with geotextile and rip-rap.

Picture 239 (P239)



Description:

Berm is eroded and potentially breached.

Recommended Action:

Restore berm with geotextile and rip-rap.

Picture 240 (P240)



Description:

Berm is eroded and potentially breached.

Recommended Action:

Restore berm with geotextile and rip-rap.

Picture 241 (P241)

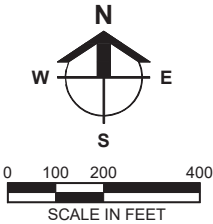


Description:

Berm is eroded and potentially breached.

Recommended Action:

Restore berm with geotextile and rip-rap.



- DEFICIENCY PHOTO LEGEND
- PX ROADWAY AND CURB
 - PX PERIMETER BERM
 - PX CITY OF FORT MYERS UTILITIES
 - PX PASEO CDD UTILITIES

PASEO
COMMUNITY
DEVELOPMENT
DISTRICT

9530 MARKETPLACE ROAD
SUITE 206
FORT MYERS, FL 33912

PHONE (239) 936-0913
FAX (239) 936-1815

PROJECT DESCRIPTION

PASEO

PART OF SECTIONS 9 & 10
TOWNSHIP 45 SOUTH
RANGE 25 EAST
LEE COUNTY, FLORIDA

THIS PLAN IS PRELIMINARY AND
INTENDED FOR CONCEPTUAL
PLANNING PURPOSES ONLY.

SITE LAYOUT AND LAND USE
INTENSITIES OR DENSITIES MAY
CHANGE SIGNIFICANTLY BASED
UPON SURVEY, ENGINEERING,
ENVIRONMENTAL AND / OR
REGULATORY CONSTRAINTS
AND / OR OPPORTUNITIES.

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FILE NAME J:\22168\DWG\EXHIBITS\

LOCATION J:\22168\DWG\EXHIBITS\

PLOT DATE THU. 7-9-2020 - 3:30 PM

PLOT BY WES KAYNE

CROSS REFERENCED DRAWINGS

PLAN REVISIONS

PLAN STATUS

EXHIBIT ONLY
NOT FOR CONSTRUCTION

DISTRICT ASSET REVIEW
EXHIBIT
JULY 9, 2020

PROJECT / FILE NO.

SHEET NUMBER

22168

1

PREPARED FOR

PASEO

COMMUNITY
DEVELOPMENT
DISTRICT

9530 MARKETPLACE ROAD
SUITE 206
FORT MYERS, FL 33912

PHONE (239) 936-0913
FAX (239) 936-1815

PROJECT DESCRIPTION

PASEO

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TOWNSHIP 45 SOUTH
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FILE NAME J:\22168\DWG\EXHIBITS\

LOCATION THU. 7-9-2020 - 3:31 PM

PLOT DATE WES KAYNE

PLOT BY

CROSS REFERENCED DRAWINGS

PLAN REVISIONS

PLAN STATUS

EXHIBIT ONLY
NOT FOR CONSTRUCTION

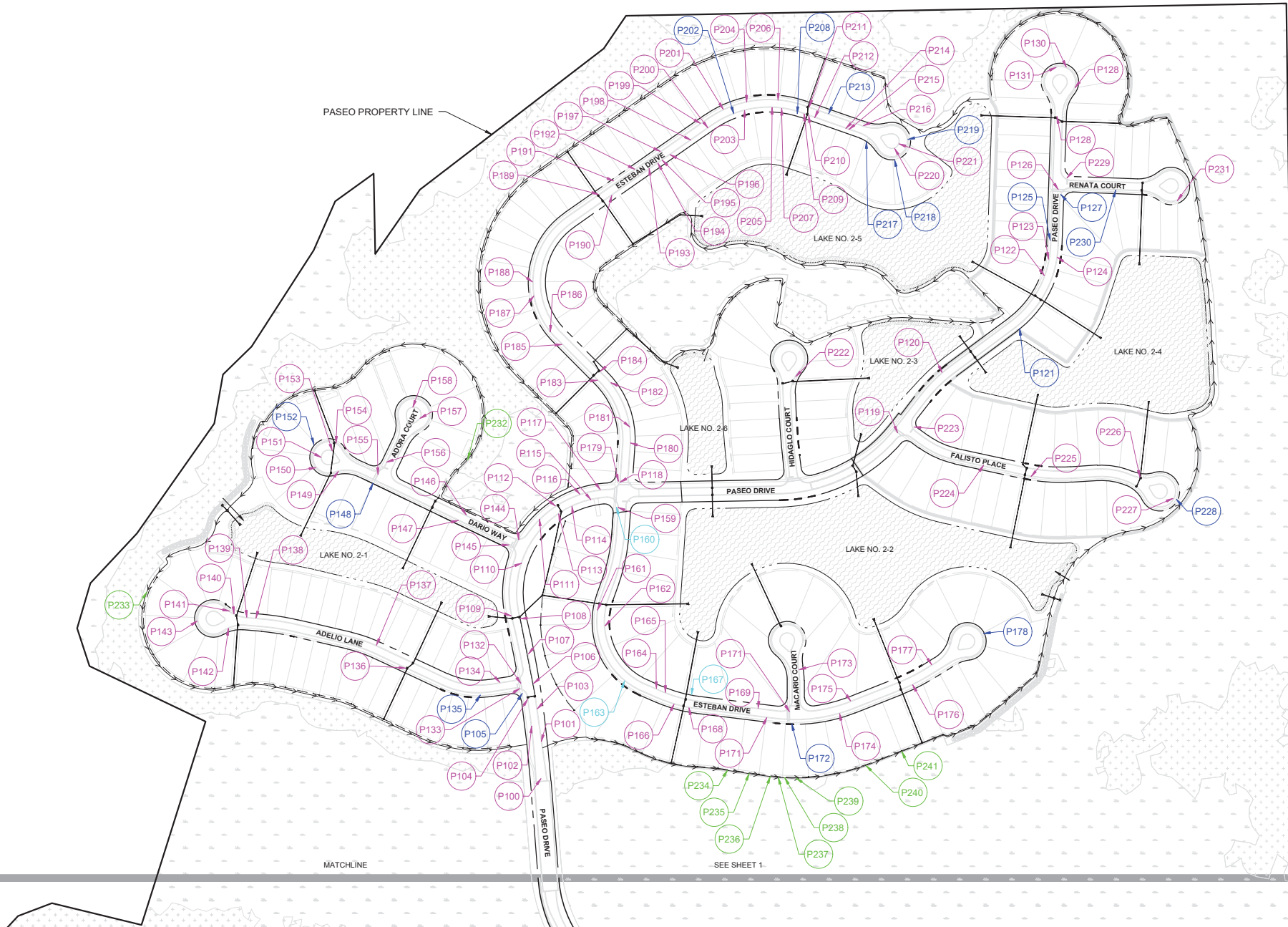
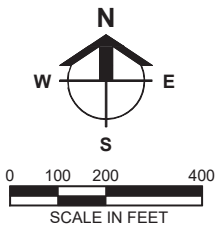
DISTRICT ASSET REVIEW
EXHIBIT
JULY 9, 2020

PROJECT / FILE NO.

SHEET NUMBER

22168

2



DEFICIENCY PHOTO LEGEND

- ROADWAY AND CURB
- PERIMETER BERM
- CITY OF FORT MYERS UTILITIES
- PASEO CDD UTILITIES

Tab 2

PASEO

FIELD INSPECTION REPORT



July 13, 2020

Rizzetta & Company

John R. Toborg – Sr. Field Services Manager

Bryan Schaub – Field Services Manager



Rizzetta & Company
Professionals in Community Management

Summary, Penzance, Main Entrance

General Updates, Recent & Upcoming Maintenance Events, Important Notices:

- ❑ There are no fertilizer applications scheduled for the month of August. However, insect, fungicide and herbicide treatments shall be applied as required.

The following are action items for Pinnacle Landscapes to complete. Please refer to the item # in your response listing action already taken or anticipated time of completion. **Red text** indicates deficient from previous report. **Bold Red text** indicates deficient for more than a month. **Green text** indicates a proposal has been requested. **Blue** indicates irrigation. **Orange** indicates an issue to be handled by Staff and **bold, underlined black** indicates an update or question for the BOS.

1. Make sure the bed lines at the corner of Penzance & Palomino are defined and all beds are detailed particularly on the lake side of the beds.
2. Along Penzance west of the main entrance, remove hanging fronds. There are also several areas that are being overtaken with weeds. One particularly bad location just outside and west where Bibiana turns east. (see below)
5. There still are weeds on the back side of the landscape bed in front of the pond on the east side of the main entrance.
6. **Many Copperleaf Plants on the inbound side of the entrance next to the guardhouse are in wilt condition. Is irrigation set properly? (Pic 6>)**



3. Noted last month, several Medjool Palms have developing fruit (that is dropping and staining) but also have a lower ring of dead fronds that should be removed. (Pic 3>)
4. Should we apply a specialty fertilizer to reverse the chlorosis (yellowing) of the Ixora? This plant is an acid lover and many times soil from roadway bases is very alkaline. (Pic 4>)



Oliveria, Nalda, Izarra

7. Make sure the Ti plants are getting good fertilization every 6-8 weeks to keep them full and in good color.
8. On several streets to the east of the main entrance, a lot of the turf in the ROW's appeared to be very dry. In fact, throughout the inspection, I noted many areas in the same condition. I will limit discussion to keep the report as brief as possible. One specific location is at the intersection of Oliveria & Nalda. (Pic 8 >)



10. We need to keep tree rings looking better than this one. (Pic 10)



9. There are also areas of turf (perhaps being shaded out as it is on the north side of a tall landscape buffer along Penzance) in poor condition along the southern leg of Palba. Perhaps a shade tolerant variety of St. Augustine (Bitter Blue) might work better in these areas. (Pic 9)



11. Another problem spot of turf is at Izarra turning south at the eastern corner of the pond. Is this chinch bug activity? (Pic 11)



Paseo Grande East, Olinda, Sarita, Mercado

12. Damage to the turf on the east side of Paseo Grande in the southern portion ROW resembles chinch bug damage as it seems to originate at the curb line and work its way inward. Has this been diagnosed and treated? (Pic 12)



16. Many of the Fakahatchee Grass beds planted between the lots near the water's edge need to have weeds (Dog Fennel) removed. Specifically noticed this behind homes on Sarita.

17. Golden Dewdrop was wilting on Sarita cul-de-sac. Is irrigation set properly?

18. At Sarita (and other entrances where we have a lot of Ti plants), periodically cut back a few, but not all, plants to encourage fuller growth. As mentioned earlier, make sure these receive a good fertilizer every 6-8 weeks.

19. What is causing the yellowing of what I think is Green Island Ficus at Mercado? (Pic 19)



13. Make sure that at all gazebo entrances on the promenade, shrubs (mostly Dw. Firebush) are being kept off the sidewalk. (Pic 13)



14. Remove all volunteer weeds from all plantings around all gazebos.

15. There are more dry patches in the turf NW of the east roundabout at Olinda. Additionally, there are more at Paseo Grande east at Javiera. (Pic 15>)



Mercado, Paseo Grande West, Adoncia & Emelia

20. Plants on the Mercado cul-de-sac are way overgrown. (Pic 20)



25. A large patch of extremely dry turf is at the intersection of Adoncia and Emelia on the east side of Adoncia. Is there an irrigation zone down? Rotors were irrigating at this time between the sidewalk and the pond, but not this area. One of the rotors running is actually spraying into the street. (Pic 25)



21. Turf between the dumpster area and lift station also appears very dry, but also the Mexican Petunia adjacent to the dumpster ramp is in moderate to severe wilt. (Pic 21)



26. The hedge around the lift station at Emelia and Bibiana is getting too tall and volunteers need to be removed from it.

27. Turf on Provencia cul-de-sac is very dry also.

28. If the Fakahatchee Grasses surrounding the Provencia cul-de-sac are the CDD's responsibility, they need to be inspected for spider mite, treated, if present, and cut to a low mound. It is difficult to tell if these are in the ROW or not. No sidewalk. (Pic 28>)

22. Arboricolas NE of the roundabout on Paseo Grande west are loaded with a vining weed.

23. Fakahatchee Grasses on the north side of the south gazebo on Paseo Grande west are browning. Inspect for spider mite, treat if present and cut to a low mound.

24. Turf is also bad in many of the street ROW's in the areas west of the main entrance, however, there is also construction in this area and it is difficult to pin this on maintenance practices. (Pic 24>)



Esperanza Entrance, Esteban, Macario

29. The space between the ornamental grass beds at the lot lines and the water's edge also need to be maintained. Most contain tall grass.

30. Broken drip tubing in the lift station plantings has not been repaired.

31. Remove any dead Dw. Firebush on the west side of Paseo Dr. between Adelio and the bridge.

32. Turf on the east side of Paseo Dr. at the intersection of Adelio is extremely dry.

33. More Fakahatchee Grasses appear to be infested with Spider mite approaching Esteban south from the west. Drench and cut to a low mound. Also dead growth from Ginger needs to be removed. (Pic 33>)



35. Turf on Macario Ct. is also extremely dry. (Pic 35)



34. A Viburnum hedge at the rear of the landscape buffer on the NW corner of the intersection of Esteban and Paseo Dr. is in very severe wilt. In fact, there may be cellular damage to leaves which may not recover. An update from Pinnacle informed me that a GFI tripped the previous week and has been re-set. Also a couple decoders were in the process of being replaced. Run days and times have been increased to provide more water through the weekend. (Pic 34>)



36. Across the street from the Falisto entrance, more turf is extremely dry and the Golden Dewdrop is out of control. (Pic 36)



37. Inspect the Flax Lily on Hidalgo Ct. cul-de-sac for rust fungus and treat accordingly.
38. Remove fruit and dead fronds from Sylvester Palms and Bismarck palms between Dario & Adelio.



Tab 3

Pinnacle Landscapes, Inc.

PO Box 100520
Cape Coral, FL 33910

Estimate

Date	Estimate #
7/15/2020	2515

Name / Address
Paseo CDD c/o Rizzetta & Company 9530 Marketplace Road Suite 206 Fort Myers, Florida 33912

			Project
Description	Qty	Cost	Total
Sod Replacement Due to Construction Around Condos (in square feet)			
Unit 4109	952	1.10	1,047.20
4105	440	1.10	484.00
4104	376	1.10	413.60
4204	200	1.10	220.00
Mailbox Tulio	6,688	1.10	7,356.80
3301	26	1.10	28.60
4502	80	1.10	88.00
4302	320	1.10	352.00
4112	560	1.10	616.00
2303	272	1.10	299.20
1407	344	1.10	378.40
		Total	\$11,283.80

Customer Signature _____

Pinnacle Landscapes, Inc.

PO Box 100520
Cape Coral, FL 33910

Estimate

Date	Estimate #
7/15/2020	2514

Name / Address
Paseo CDD c/o Rizzetta & Company 9530 Marketplace Road Suite 206 Fort Myers, Florida 33912

			Project
Description	Qty	Cost	Total
Summer 2020 Sod Replacement (in square feet)			
Zoysia:			
Herminia south big lake	1,772	1.20	2,126.40
Paseo Grande and Paseo Dr	2,142	1.20	2,570.40
Floritam:			
Unit 5204	1,088	1.10	1,196.80
Paseo Grande West	100	1.10	110.00
Unit 1406	80	1.10	88.00
Bibiana mailbox- 442sqft	442	1.10	486.20
Paseo Grande/ Javiera	860	1.10	946.00
Izarra and Nalda	1,935	1.10	2,128.50
Palba mailbox	520	1.10	572.00
Lift station- Paseo Grande	546	1.10	600.60
Nalda and Javiera	3,990	1.10	4,389.00
Palba- Unit 6301, 6203, 6304	1,144	1.10	1,258.40
Paseo Dr/ Esteban north	912	1.10	1,003.20
Paseo Dr /Adelio	896	1.10	985.60
Condo unit berm in back	320	1.10	352.00
Unit 9501	312	1.10	343.20
		Total	\$19,156.30

Customer Signature _____

Tab 4

MINUTES OF MEETING

Each person who decides to appeal any decision made by the Board with respect to any matter considered at the meeting is advised that the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based

PASEO COMMUNITY DEVELOPMENT DISTRICT

The regular meeting of the Board of Supervisors of the Paseo Community Development District was held on **Wednesday, June 24, 2020 at 11:02 a.m.** held virtually via Zoom pursuant to Executive Orders 20-52, 20-69, and 20-112 issued by Governor DeSantis on March 9, 2020, March 20, 2020, and April 29, 2020, respectively, and pursuant to Section 120.54(5)(b)2., Florida Statutes.

Present and constituting a quorum:

Steven Brown	Board Supervisor, Chairman
Sharon Schulman	Board Supervisor, Vice Chair
Lyle Hicks	Board Supervisor, Assistant Secretary
Jim Heather	Board Supervisor, Assistant Secretary
James Morris	Board Supervisor

Also present were:

Belinda Blandon	District Manager, Rizzetta & Company, Inc.
Michael Lake	Field Manager, Rizzetta & Company, Inc.
Jan Carpenter	District Counsel, Latham, Luna, Eden & Beaudine, LLP
Kristen Trucco	District Counsel, Latham, Luna, Eden & Beaudine, LLP
Doug Tarn	District Engineer, Barraco & Associates, Inc.
Joe Fenner	Pinnacle Landscape
Audience	

FIRST ORDER OF BUSINESS

Call to Order

Ms. Blandon called the meeting to order and called the roll.

SECOND ORDER OF BUSINESS

Public Comment

Ms. Blandon opened the floor for public comment on Agenda items. There were no comments from the public.

THIRD ORDER OF BUSINESS

District Engineer Staff Report

Mr. Tarn advised that the phase three lake bank project is complete and all went well. He advised that all field work for the asset report has been completed and now the administration portion has begun, he asked how detailed they would like the report will be. The Board advised that they would a detailed report and they would like the report to be prioritized based on Mr. Tarn's recommendations.

Mr. Brown inquired as to the Penzance sidewalk. Mr. Tarn advised that he does not have an update at this time. Mr. Brown advised they have received the notice to proceed and surveying has begun.

FOURTH ORDER OF BUSINESS

**Consideration of Johnson Engineering
Supplemental Agreement Regarding
2020 Compliance Monitoring**

Ms. Bandon provided an overview of the proposal from Johnson Engineering and asked if there were any questions. Mr. Brown inquired as to the restrictions placed upon the Paseo CDD by SFWMD related to tolerances. Discussion ensued.

On a Motion by Mr. Brown, seconded by Ms. Schulman, with all in favor the Board Approved the Johnson Engineering Supplemental Agreement Regarding 2020 Compliance Monitoring, for the Paseo Community Development District.

Ms. Bandon asked if there were any questions for Mr. Fenner related to the landscaping as the report has not yet been completed. Mr. Heather inquired regarding the condition of the palms and whether it is due to the drought. Mr. Fenner advised that it is not due to the drought but rather due to a regional condition affecting palm trees; he advised that they will monitor the trees for fertilization and crews will be mindful of cleaning tools in between trimmings. Mr. Fenner inquired regarding providing pricing for sod in the Condo areas impacted by the construction work. Ms. Bandon advised that she would like those areas quoted separately. Mr. Hicks inquired regarding fire ants on CDD property. Mr. Fenner advised that fire ant treatments have been done.

FIFTH ORDER OF BUSINESS

**Consideration of the Minutes of the
Board of Supervisors' Meeting held on
May 27, 2020**

Ms. Bandon provided an overview of the minutes of the Board of Supervisors' meeting held on May 27, 2020 and asked if there were any questions related to the minutes. Discussion ensued.

On a Motion by Mr. Brown, seconded by Mr. Hicks, with all in favor, the Board Approved the Minutes of the Board of Supervisors' Meeting held on May 27, 2020, for the Paseo Community Development District.

SIXTH ORDER OF BUSINESS

**Consideration of the Operations and
Maintenance Expenditures for the
Month of May 2020**

Ms. Bandon provided an overview of the operations and maintenance expenditures for the period of May 1-31, 2020 totaling \$222,768.07 and asked if there were any questions. Ms. Bandon responded to questions from the Board related to various items of

88 expenditure.
89

On a Motion by Mr. Brown, seconded by Ms. Schulman, with all in favor, the Board Approved the Operations and Maintenance Expenditures for the Month of May 2020, totaling \$222,768.07, for the Paseo Community Development District.

90
91 **SEVENTH ORDER OF BUSINESS**

**Supervisor Requests and Audience
Questions**

92
93
94 Ms. Bandon opened the floor to Supervisor requests.
95

96 Mr. Brown inquired regarding the electrical data that was provided to Mr.
97 Heether. Mr. Heether advised that he has reviewed the meters and has determined that
98 most of the higher prices are due to pumps. Ms. Schulman inquired as to installing solar
99 energy for the pumps. Mr. Brown advised that he has been looking into alternates such
100 as solar power or application managed pumps. Ms. Bandon advised that she has been
101 working on obtaining information related to pump controls and will report back to the
102 Board.
103

104 Mr. Brown advised that the surveying for the sidewalk is set to be completed by
105 July 9th and then a meeting with the District will follow.
106

107 Mr. Brown advised that prescribed burns are supposed to take place within the
108 preserves on an annual basis and one has not been conducted for a long time and so
109 he has asked that Ms. Bandon look into the burn requirements.
110

111 Ms. Carpenter provided an update regarding the Condo Association contract
112 related to the health and safety of the community and the cleanup and containment of
113 debris; she advised that the Condo Association attorney and the vendors have been
114 very responsive. She advised that the onsite vendor also has a hurricane plan in place.
115 Ms. Carpenter advised that Stock has been very helpful in remedying issues on site at
116 the construction areas. Discussion ensued.
117

118 Mr. Morris inquired as to whether the roadways within the District are public or
119 private. Ms. Carpenter advised that the roadways are public and are owned and
120 maintained by the District.
121

122 Mr. Heether commended Mr. Lake for his work within the community and asked
123 that Ms. Bandon meet with him and Mr. Lake to review and discuss the timeclocks
124 within the community.
125

126 Ms. Bandon addressed the Zoom meetings; she advised that the Governor has
127 extended the order allowing Zoom meetings until August 1st. She advised that the
128 purpose of the Zoom meeting is to allow for public participation as social distancing is
129 difficult when in person meetings are held. Discussion ensued.
130

Ms. Blandon advised that homeowners who are requesting public records should be directed to District Staff so that proper tracking can be done and to also ensure that statutory requirements are met. Ms. Carpenter reviewed public records requirements as well as use of technology.

Mr. Brown echoed Mr. Heether's comments in thanking Mr. Lake for his hard work. He further asked that Ms. Blandon forward the Condo Association email received last night to Ms. Carpenter as well as forwarding the Condo Association hurricane plan to all Supervisors.

Mr. Morris asked if the meeting recordings are public record. Ms. Blandon confirmed that they are.

Mr. Lake advised of a water leak that he is having a difficult time getting the City to work on, as well as crosswalk repairs that the City has not yet finished. Ms. Blandon advised that she will send an email to the City Manager.

Ms. Blandon advised that the next regular meeting of the Board of Supervisors is scheduled for Wednesday, July 22, 2020 at 11:00 a.m.

EIGHTH ORDER OF BUSINESS

Adjournment

Ms. Blandon advised there was no further business to come before the Board and asked for a motion to adjourn the meeting.

On a Motion by Mr. Hicks, seconded by Mr. Brown, with all in favor, the Board adjourned the meeting at 12:05 p.m., for the Paseo Community Development District.

Secretary/Assistant Secretary

Chairman/Vice Chairman

Tab 5

PASEO COMMUNITY DEVELOPMENT DISTRICT

DISTRICT OFFICE · 12750 CITRUS PARK LANE · SUITE 150 · TAMPA, FLORIDA 33625

Operation and Maintenance Expenditures June 2020 For Board Approval

Attached please find the check register listing the Operation and Maintenance expenditures paid from June 1, 2020 through June 30, 2020. This does not include expenditures previously approved by the Board.

The total items being presented: **\$291,104.11**

Approval of Expenditures:

_____ Chairperson

_____ Vice Chairperson

_____ Assistant Secretary

Paseo Community Development District

Paid Operation & Maintenance Expenditures

June 1, 2020 Through June 30, 2020

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
CenturyLink	2020060420-1	311416420 05/20	Telephone Service 05/20	\$ 584.00
City of Fort Myers	006603	1-015317-00 06/20	Compactor 11604 Paseo Grande Blvd 06/20	\$ 6,072.59
Crocker Land Development, LLC	006601	1960	Completion Lake Maintenance Project Phase II 05/20	\$ 20,800.00
Crocker Land Development, LLC	006601	1961	80% Deposit Lake Maintenance Project Phase III 04/20	\$ 114,702.40
Crocker Land Development, LLC	006604	1962	Final Lake Maintenance Project Phase III 06/20	\$ 28,765.60
Crystal Clean Inc.	006611	1985	Gatehouse Janitorial Services 06/20	\$ 279.87
Cypress Access Systems, Inc.	006592	12207	E-GO Plate Tags 05/20	\$ 72.80
Cypress Access Systems, Inc.	006592	12220	Repair Guard Computer 05/20	\$ 275.00
Cypress Access Systems, Inc.	006592	12222	Repair Checkpoint Access 05/20	\$ 110.00
Cypress Access Systems, Inc.	006612	12286	Monthly Service 06/20	\$ 269.20

Paseo Community Development District

Paid Operation & Maintenance Expenditures

June 1, 2020 Through June 30, 2020

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Cypress Access Systems, Inc.	006612	12364	E-GO Plate Tags 06/20	\$ 82.63
Florida Power & Light Company	006605	Electric Summary 05/20	FPL Electric Summary 05/20	\$ 10,065.46
Home Team Pest Defense Inc	006597	69815595	Rodent Service 05/20	\$ 40.00
Home Team Pest Defense Inc	006597	70373944	Quarterly Pest Control 06/20	\$ 30.00
James A. Heether	006613	JH052720	Board of Supervisors Meeting 05/27/20	\$ 200.00
James J Morris	006615	JM052720	Board of Supervisors Meeting 05/27/20	\$ 200.00
Johnson Engineering, Inc.	006598	20097877-019 INV # 11	WUP Compliance Monitoring Svcs 05/20	\$ 1,137.50
Latham, Luna, Edan & Beaudine, LLP	006593	91549	Professional Services 04/20	\$ 3,316.50
Lyle L. Hicks	006614	LH052720	Board of Supervisors Meeting 05/27/20	\$ 200.00
Pinnacle Landscapes, Inc.	006599	11895	Cost For Photos 02/20	\$ 400.00

Paseo Community Development District

Paid Operation & Maintenance Expenditures

June 1, 2020 Through June 30, 2020

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Pinnacle Landscapes, Inc.	006599	12159	General Monthly Maintenance 05/20	\$ 20,017.58
Pinnacle Landscapes, Inc.	006599	12160	Pest Control 05/20	\$ 850.00
Pinnacle Landscapes, Inc.	006599	12161	Fertilization Zoysia, palm Tree & St. Augustine 05/20	\$ 6,957.00
Pinnacle Landscapes, Inc.	006616	12189	Spring Mulch 06/20	\$ 28,500.00
Pinnacle Landscapes, Inc.	006599	12197	Irrigation Repairs 05/20	\$ 1,941.50
Rizzetta & Company, Inc.	006594	INV0000050131	District Management Fee 06/20	\$ 6,971.67
Rizzetta Amenity Services, Inc.	006600	INV0000000007582	Actual Bi-Weekly Payroll 05/29/20	\$ 2,046.07
Rizzetta Amenity Services, Inc.	006606	INV0000000007611	Cell Phone 05/20	\$ 50.00
Rizzetta Amenity Services, Inc.	006606	INV0000000007643	Actual Bi-Weekly Payroll 06/12/20	\$ 2,896.07
Rizzetta Technology Services, LLC	006595	INV0000005880	Website Email & Hosting Services 06/20	\$ 190.00

Paseo Community Development District

Paid Operation & Maintenance Expenditures

June 1, 2020 Through June 30, 2020

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Sharon E. Schulman	006617	SS052720	Board of Supervisors Meeting 05/27/20	\$ 200.00
Solitude Lake Management, LLC	006607	PI-A00414262	Fountain Repair 05/20	\$ 149.77
Solitude Lake Management, LLC	006618	PI-A00420192	Lake & Pond Management Services 6/01/20-08/31/20	\$ 1,325.00
Solitude Lake Management, LLC	006618	PI-A00420193	Water Feature Maintenance 06/20	\$ 460.00
Solitude Lake Management, LLC	006618	PI-A00423280	Lake & Pond Management Services 06/20	\$ 2,041.00
Solitude Lake Management, LLC	006618	PI-A00425646	Fountain Repair 06/20	\$ 4,534.71
Solitude Lake Management, LLC	006608	SMOR-356054	50% Deposit Aquatic Planting 06/20	\$ 12,863.25
Steven A. Brown-Cestero	006610	SB052720	Board of Supervisors Meeting 05/27/20	\$ 200.00
The Daily Breeze	006591	117189 05/20/20	Legal Advertising AD#114354 05/20	\$ 79.50
Universal Protection Service, LP	006590	10066530	Security Services 05/15/20-05/21/20	\$ 2,794.37

Paseo Community Development District

Paid Operation & Maintenance Expenditures

June 1, 2020 Through June 30, 2020

<u>Vendor Name</u>	<u>Check Number</u>	<u>Invoice Number</u>	<u>Invoice Description</u>	<u>Invoice Amount</u>
Universal Protection Service, LP	006596	10082309	Security Services 05/22/20-05/28/20	\$ 2,938.35
Universal Protection Service, LP	006602	10112448	Security Services 05/29/20-06/04/20	\$ 2,747.36
Universal Protection Service, LP	006609	10138338	Security Services 06/05/20-06/11/20	<u>\$ 2,747.36</u>
Report Total				<u>\$ 291,104.11</u>